

NOTICE OF PUBLIC HEARING

**PLANNING AND ZONING COMMISSION OF JEFFERSON COUNTY, MISSOURI
NOTICE OF MEETING**

Notice is hereby given that the Planning and Zoning Commission of Jefferson County, Missouri, will conduct a meeting at 6:30 p.m., Thursday July 22, 2021 in the Assembly Room of the Jefferson County Administration Center, located at 729 Maple Street, Hillsboro, Missouri. The public will be given an opportunity to be heard.

The tentative agenda of this meeting includes:

- I. CALL TO ORDER
- II. ROLL CALL
- III. APPROVAL OF AGENDA
- IV. APPROVAL OF MINUTES
July 8, 2021
- V. SWEARING IN OF WITNESSES
- VI. INTRODUCTION OF EVIDENCE
- VII. NEW BUSINESS
 - I. Consideration
 - A. CU21055
A Request for a Conditional Use Permit for parcel 07-4.0-17.0-0-000-004.01, located at 7344 Rovin Acres, House Springs, in High Ridge Township and Council District #7, for a Telecommunications Tower in a Large Lot Residential (LR-2) Zone District.
 - B. CU21057
A Request for a Conditional Use Permit for parcel 09-3.0-07.0-1-001-029., located at 5181 Warren Road, Imperial in Windsor Township and Council District #3, for a Group Home for persons with disabilities, hospice or special care, in a Non-Planned Community Commercial (CC-2) Zone District.
- VIII. REPORTS TO THE COMMISSION
- IX. CITIZENS TO BE HEARD
- X. ADJOURNMENT

Representatives of the media may obtain copies of this notice by contacting Elaine Roesch, Planning Clerk at 636-797-5580, Jefferson County Planning Division, PO Box 100, Hillsboro, Missouri 63050.

Due to COVID-19, seating in the room will be limited in an effort to maintain proper social distancing practices. In the event of large crowds, attendees may be asked to wait outside until the case they wish to participate in or observe is called for hearing. Temperatures will be screened at the door.

Any person requiring special accommodation under the Americans with Disabilities Act should contact Jefferson County Human Resources at 636-797-5071

"Please be Advised: Members of the County Council May Be in Attendance at this Meeting"

Jefferson County, Missouri

PLANNING DIVISION

PO Box 100
HILLSBORO, MO 63050
(636) 797-5580
<www.jeffcomo.org>

**Jefferson County, Missouri
Planning and Zoning Commission**

Meeting Date: July 22, 2021

Staff Report

General Information:

Petition Number: CU21055
Petition Name: Parallel Infrastructure

Petitioner Name: Parallel Infrastructure, LLC/Collective Solutions
Street Address: 340 Marshall Rd.
City, State: Valley Park, MO 63088

Owner Name: Randy and Rosemary Marquart
Street Address: 7344 Rovin Acres
City, State: House Springs, MO 63051

Location of Site: 7344 Rovin Acres, House Springs, MO 63051

Requested Action: Conditional Use Permit for a 190' Self Support Style
Telecommunication Facility

Size of Tract: 18.12 acres/Lease Area (.22 acres)
Parcel Numbers: 07-4.0-17.0-0-000-004.01
Existing Zone District: LR2
Township: High Ridge
Council District: #7

School District: Northwest R1
Fire District: Cedar Hill
Water District: PWSD08
Sewer District: MO - American Water

Prepared By: Joshua Jump, Planner II
Date: July 12, 2021
Recommendation: Approval with conditions

Attachments:

1. Zoning Map
2. Aerial Map
3. Site Plan

Subject Property

The subject property is located at 7344 Rovin Acres. The property is located directly off State Route 30 and is currently zoned Large Lot Residential (LR2), with a single-family residence located on the northeastern portion of the property. The tower is proposed to be located on the northwestern part of the property.

According to FEMA's Flood Rate Insurance Map, no portion of the property is located within the floodplain and no portion of the property is located within the floodway. There are also no stream orders that traverse through the subject property.

Surrounding Area

The surrounding area consists of residential land uses.

To the North:	<u>Zoning:</u>	State Highway 30 and LR2
	<u>Land Use:</u>	Developed Residential
To the East:	<u>Zoning:</u>	LR2
	<u>Land Use:</u>	Developed Residential
To the South:	<u>Zoning:</u>	LR2
	<u>Land Use:</u>	Developed Residential
To the West:	<u>Zoning:</u>	LR2
	<u>Land Use:</u>	Developed Residential

Petitioner's Request

The petitioner is seeking approval of a Conditional Use Permit for a 190' Monopole Telecommunications Tower, requiring the use of .22 acres (9,583 sq ft) of the 18.12-acre property. This request is being reviewed under the Unified Development Order (UDO) of Jefferson County adopted April 2, 2008, as amended.

Official Master Plan

This subject property is located in the Primary Growth Area of the County in the Master Plan. However, the development pattern is not particularly relevant to a Telecommunications Tower.

Basic Requirements

The requirements of Section 400.3300 of the Unified Development Order for Telecommunications Towers and Antenna Mounts are intended to establish general guidelines for the siting of telecommunications towers, and freestanding antenna mounts and antennas, for commercial wireless communications in any zone district. Staff has conducted an analysis of the proposed tower based on the requirements of Section 400.3300 of the Unified Development Order.

It is important to note that on August 28, 2014, Senate Bill No. 650 as passed by the Missouri General Assembly, became effective. Senate Bill No. 650 restricts the County's ability to regulate many aspects related to the construction and placement of telecommunications towers. Subsequently, the UDO was amended to remove any requirements that were inconsistent with Senate Bill No. 650.

According to the Federal Telecommunications Act of 1996 (SEC. 704) regarding the construction, placement, and modification of wireless service facilities, local government:

- Regulations shall not prohibit or have the effect of prohibiting the provision of wireless service.
- Regulations shall not unreasonably discriminate among providers of functionally equivalent services.
- Shall act on duly filed requests within a reasonable period of time
- Denial of requests shall be in writing and supported by substantial evidence contained in written record.
- May not regulate the facilities based on the environmental effects of radio frequency emissions to the extent the facilities comply with FCC regulations.

The FCC publication: *A Local Government Official's Guide to Transmitting Antenna RF Emission Safety: Rules, Procedures, and Practical Guidance* (2000) indicates if a cellular facility antenna is not mounted on a building and the antenna is at least 10 meters (33 feet) above ground level it is "highly unlikely" to cause radio frequency exposure in excess of the FCC's guidelines and is considered "categorically excluded" from evaluation of potential radio frequency exposure.

Analysis

The Subject property is located in the Large Lot Residential (LR2) zone district. A telecommunications tower in this district requires a conditional use permit. A site development plan was submitted with the application showing a 190' tower, access drive, fencing, and the existing tree lines. While the site plan demonstrates compliance with most UDO requirements, the plan does not show any landscaping around the tower base and equipment compound that would screen these facilities from adjacent residential properties to the east and south. Pursuant to Section 400.3300(A)(6) of the UDO, a communication tower facility shall be landscaped with a buffer of plant materials that effectively screens the view of the communication tower base from adjacent residentially zoned or used property. Staff feels that existing tree cover screens the facility so long as the existing landscaping remain in a buffer of 20' minimum width around the outside the proposed lease area.

The UDO designates three separate setback requirements for any proposed tower. They are as follows: any tower must be setback the height of the tower from any dwellings not on the subject property and any adjoining properties zoned residentially, a tower must be setback from any property line the height of the tower less the maximum structure height permitted in that zone district, and finally a tower must be setback a distance equal to half the height of the tower from any residential, commercial, or industrial uses open to the general public. These setbacks are not met by the proposed tower in the proposed plan. This is in conflict on both the western property line and the property line directly north. The western property line setback is annotated at 121'2" and must meet a 190' setback. The northern line is annotated at 145'10" and must meet the same 190' setback.

The submitted plan fails to meet the setbacks established by the UDO, but should the setbacks be met staff believes the surrounding properties will not be detrimentally affected by the proposed tower. The UDO does allow the County Council to reduce setback requirements if the goals of the UDO would be better served by the proposed setbacks. Petitioner has not submitted any

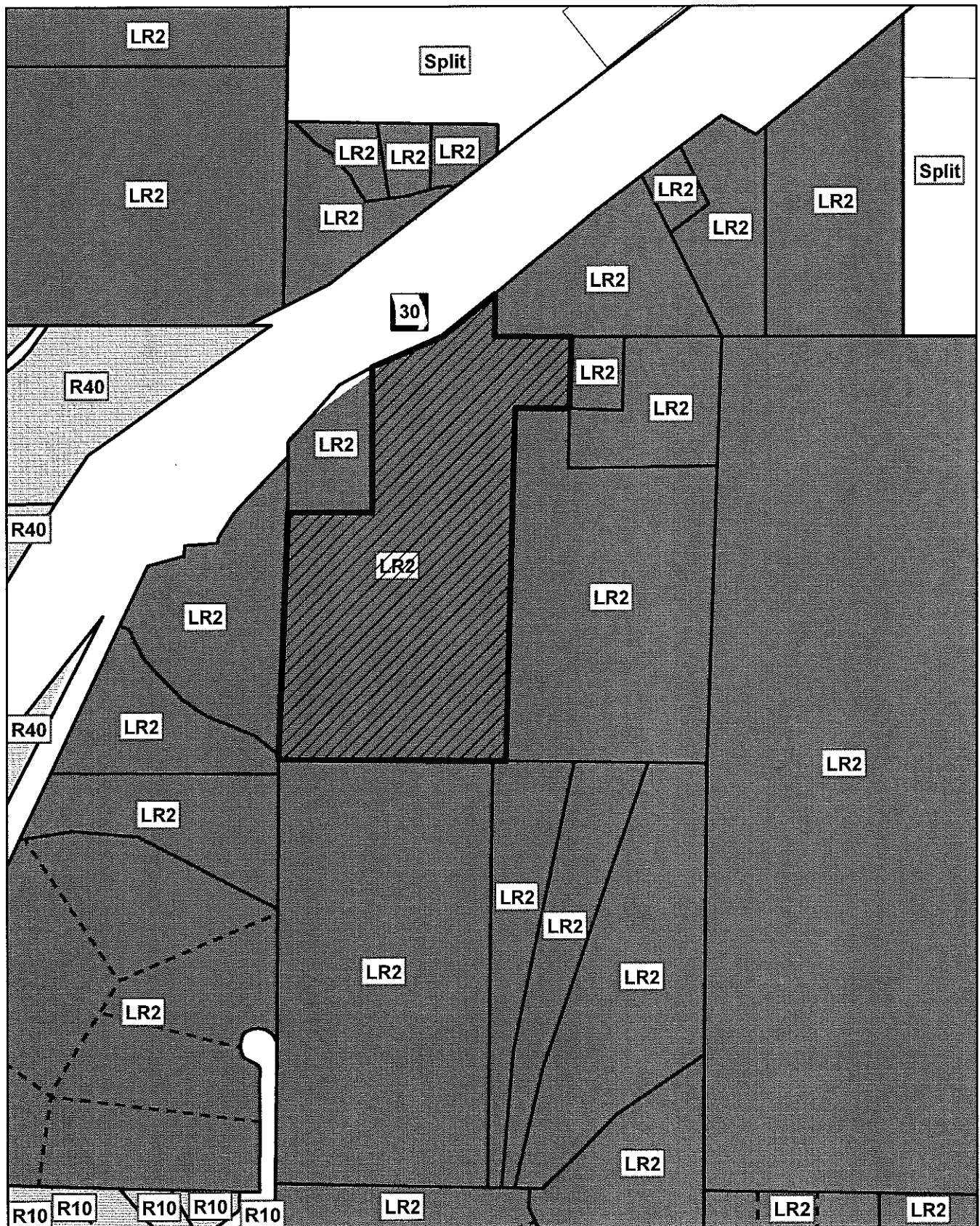
information indicating that reducing the setbacks would meet the goals of the UDO. Nor has the Petitioner submitted any information regarding the unreasonableness of the County's landscaping requirements. In the absence of this information, Staff is recommending that the tower meet all UDO requirements.

Staff Recommendation

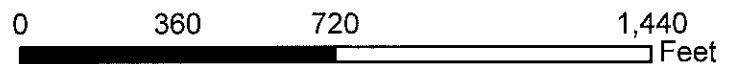
Staff recommends approval of CU21055 for a Telecommunications Tower 190-foot in height subject to the following conditions:

1. The tower must meet the setbacks set forth by the UDO
2. The existing landscaping must remain undisturbed for a minimum 20' buffer around the facility
3. The tower shall be designed, constructed, and placed in accordance with the application and the submitted development plan unless otherwise specified in these conditions.
4. The communications tower shall not exceed a height of 190 feet.
5. The tower shall be designed and constructed to accommodate no less than three (3) additional antennas.
6. Access to the proposed tower site for construction of the tower and for any necessary ongoing maintenance by the users/providers that locate on the structure, shall be made using the proposed access road. No other access to the site shall be allowed.
7. Clearing shall be limited to the area shown indicated in the development plan submitted.
8. A fence not less than six foot in height and equipped with an appropriate anti-climbing device shall be provided around the tower and equipment.
9. The existing wooded area shall remain in accordance with the site plan.
10. Evergreen trees shall be planted around the fence and shall be a minimum height of six (6) feet at planting along the south and east sides of the compound area.
11. Prior to the approval of the building permit, a letter from the Federal Aviation Administration indicating that a study has been conducted for the proposed tower and that the proposed tower does not exceed obstruction standards and would not be a hazard to air navigation shall be on file with the Jefferson County Planning Division.
12. No lighting shall be permitted except as required by the FAA.
13. A recorded copy of all proposed access and utility easements shall be submitted to the Planning Division prior to the issuance of a Jefferson County Building Permit.
14. Erosion and sediment control shall be in place during construction of the access road and tower. It shall remain in place and maintained until all disturbed land is restored.
15. The tower shall comply with all other local, state, and federal requirements.
16. Any generators installed at the tower site shall utilize sound attenuation equipment.

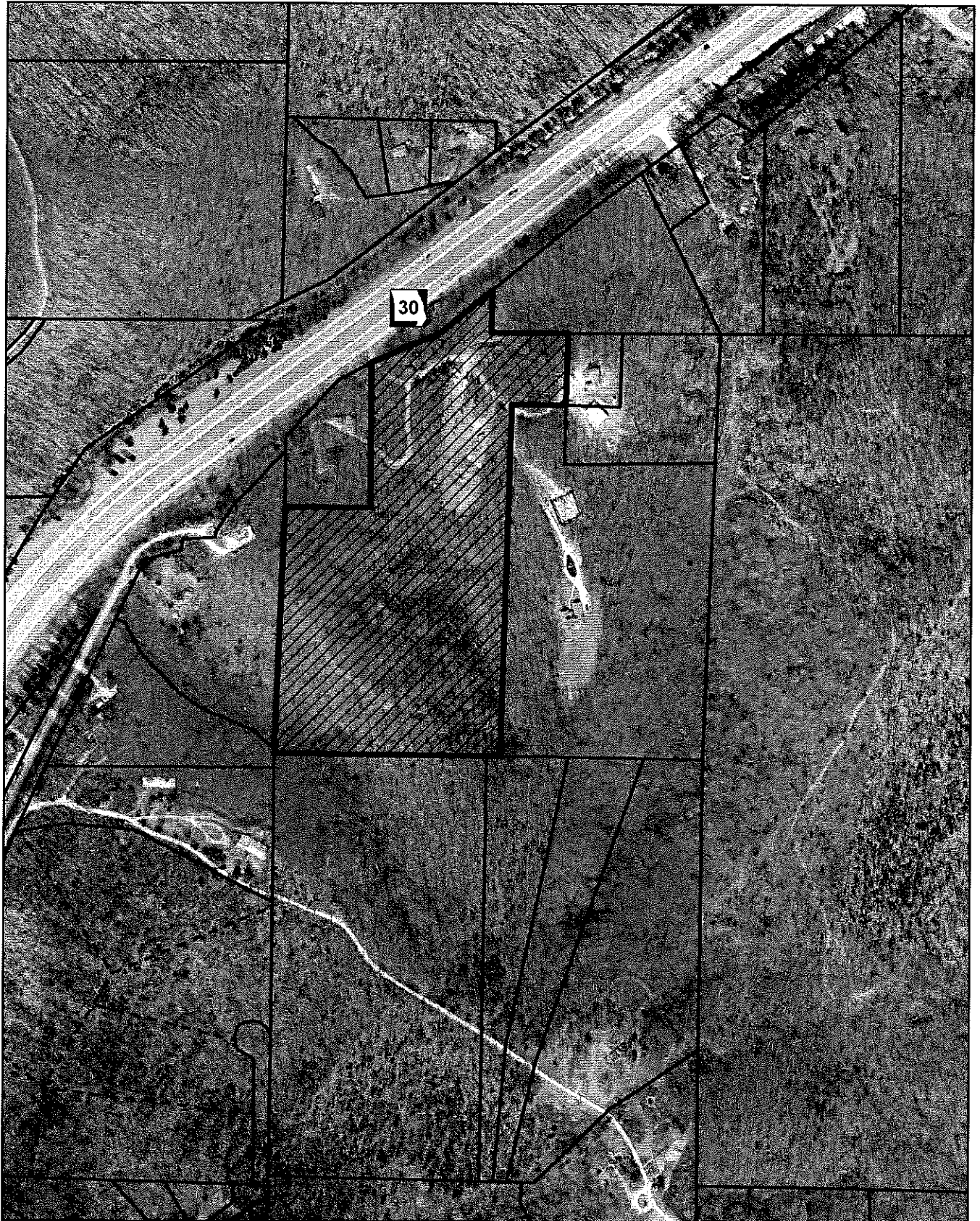
CU21055 - Parallel Infrastructure



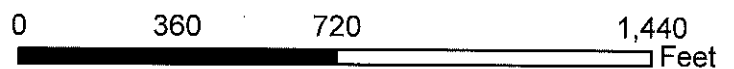
Subject Property



CU21055 - Parallel Infrastructure



Subject Property



Jefferson County, Missouri

PLANNING DIVISION

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Jefferson County, Missouri
Planning and Zoning Commission
Meeting Date: July 22, 2021

Staff Report

General Information:

Petition Number: CU21057
Petition Name: Finding Grace Ministries

Petitioner Name: Finding Grace Ministries
Street Address: 1720 Fairfax Dr
City, State: Barnhart, MO 63012

Owner Name: Bob and Connie Sanchell
Street Address: 5181 Warren Rd
City, State: Imperial, MO 63052

Location of Site: 5181 Warren Rd. Near the intersection of Warren Rd and Miller Rd in Imperial.

Requested Action: Conditional Use Permit for "Group home for persons with disabilities, hospice or special care" in a Non-Planned Community Commercial (CC2) zone district.

Size of Tract: .37 acres
Parcel Numbers: 09-3.0-07.0-1-001-029
Existing Zone District: CC2
Township: Windsor
Council District: #3

School District: Windsor
Fire District: Rock Community
Water District: PWSD C1
Sewer District: Jefferson County PSD

Prepared By: Rachel Krispin, Planner I
Date: July 9, 2021
Recommend: Approval, with conditions

Attachments:

1. Aerial Map
2. Zoning Map
3. Site Plan
4. Modification Requests

Subject Property

The subject property is located at 5181 Warren Rd., near the intersection of Warren Rd and Miller Rd. The property is .37 acres in size and is zoned CC2 – Non-Planned Community Commercial. A vacant daycare currently exists on the property. The petitioner is seeking a conditional use permit to operate a transitional living facility on the subject property.

According to the FEMA flood maps, no portion of the property lies within the floodway or floodplain, and no stream orders traverse the property.

Surrounding Areas

The subject property is in an area that contains a mixture of residentially and commercially zoned properties. The surrounding zone districts and land uses are as follows:

To the North:	<u>Zoning:</u>	R7
	<u>Land Use:</u>	Developed Residential
To the East:	<u>Zoning:</u>	CC2
	<u>Land Use:</u>	Developed Commercial (Elks Lodge)
To the South:	<u>Zoning:</u>	CC2
	<u>Land Use:</u>	Developed Commercial
To the West:	<u>Zoning:</u>	CC2
	<u>Land Use:</u>	Developed Commercial

Petitioner's Request

The petitioner is requesting approval of a Conditional Use Permit for a "Group home for persons with disabilities, hospice or special care" in order to operate a transitional living facility in the Non-Planned Community Commercial (CC2) zone district in accordance with Article 9, Section 400.3200 of the Unified Development Order.

Official Master Plan**Growth Area**

The subject property is located in a Primary Growth Area in the Official Master Plan. This area is potentially suitable for all development patterns including Infill, Industrial, Mixed-Use, Suburban, Large Lot, Rural Cluster, and Rural. The most appropriate development pattern in this case is a Suburban Development Pattern. This development pattern will be used to determine the design criteria applied to the property. The growth policies for this area include the following:

1. Development shall be targeted to infill sites and sites adjacent to existing development, which are designated as "Primary Growth Areas".
2. Development within the "Primary and Secondary Growth Areas" shall be required to utilize or extend public infrastructure systems, including water, sewer and roads.
3. Septic or on-site wastewater treatment systems shall be discouraged in the "Primary and Secondary Growth Areas" and lots with existing systems in these areas should be connected to public sewer when physically and financially possible.
4. Development will be one of the eight development patterns as defined by this plan.
5. Residential development that has access to established transportation corridors shall be encouraged.

6. Commercial and employment centers shall be located in either the municipality or the "Primary Growth Area," immediately adjacent, and it shall have direct access to a County, State or Federal highway.

Suburban Development Pattern

The Suburban Development Pattern is the most appropriate pattern of development for the subject property. The Suburban Development Pattern is appropriate in areas with access to services, with characteristics of access being adjacency and strong transportation connections.

Land Uses	A variety of land uses exist in the Suburban pattern spanning all categories (residential, commercial, industrial). These land uses are separated based on broad classifications of uses. Non-residential development tends to occur in large strips along major roads.
Edges / Transitions	Generally within Suburban patterns, buffers or berms further separate each individual site. These areas may be either natural or manicured. Edges between Suburban patterns and other Development Patterns are generally difficult to define, because this pattern attempts to assimilate qualities of different Development Patterns (urban and rural) into one pattern.
Open Space	Open space is more formal, often designed as part of individual site landscape plans. Private open space consists of medium or large yards, common subdivision grounds or landscape areas as part of non-residential site plans. Private open space can be disjointed, due to its individualized design and purposes – (i.e.: designed to serve specific lots or developments). Public open space may exist as part of a formal community-wide planning effort, typically removed from commercial sites and occasionally incorporated in residential subdivisions.
Street network/ Transportation	The street network is hierarchical, including local, collector and arterial streets, with county roads functioning as arterial streets. Arterial streets carry the majority of traffic, requiring detailed engineering (width, turning lanes, etc.). Connectivity is generally only provided by collector or arterial streets. This factor, combined with the separation of uses on functional classes make pedestrian, transit or para-transit access impractical. Most trips require an automobile.
Service Infrastructure	Sewer and water service may be common systems – typically municipal extensions but they also may involve development of private systems. Larger lots, however, (over 1 acre) may be able to support well or septic use if state standards are met.
Community Infrastructure	Fire, police, schools, parks and other community infrastructure can be supplied by existing, but remote facilities, if sufficient capacity exists. New facilities must be phased in as subdivisions increase, but may be difficult to provide efficiently.
Lot sizes	Lot sizes are variable. Overall density typically remains between 3 and 6 units per acre.

Criteria for Implementation	♦ Traffic impact is a major determinant of development, as vehicle miles traveled and congestion increase with this pattern. ♦ Typically triggered by immediate availability or short-term practicality of service infrastructure investments. ♦ Community infrastructure (fire, schools, parks) must be provided by existing remote facilities or developed over time as subdivisions increase. ♦ Generally, not appropriate for areas with significant natural features worthy of preservation.
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Unified Development Order

Group Home for Persons with Disabilities, Hospice or Special Care ("RA-5", "LR2" and "R-40") – Section 400.3200. Section 400.3200 of the UDO states the following:

The UDO includes specified conditions of approval for Group Homes located within residential zone districts. There are no specified conditions for these facilities that are located in the CC2 zone district.

Conditional Use Permits: Standards for Approval – Section 400.3010

Conditional uses may be approved by action of the County Council after recommendation from the Planning & Zoning Commission using the procedures set forth in Section 400.1140. Conditional uses may be approved with conditions including, but not limited to, requirements for yards, open spaces, buffers, fences, walls and screening; the installation of landscaping and maintenance; provisions for erosion control; requirements for street improvements, dedications, limitations on ingress and egress movements into and out of the site and traffic circulation; limitation on signage; limitation on hours of operation and other characteristics of operation; conditions specifically listed under the individual conditional use and other conditions deemed necessary to insure compatibility with surrounding land uses.

In considering any application for a conditional use permit, the Planning & Zoning Commission may consider the following minimum criteria; to the extent they are pertinent to the application.

1. Character of the neighborhood;
2. Compatibility with adjacent property uses and zoning;
3. Suitability of the property for which the conditional use is being requested;
4. Extent to which the proposed use will negatively impact the aesthetics of the property and adjoining properties;
5. Impact on the street system to handle traffic and/or parking;
6. Impact of additional storm water runoff to the existing system or to the watershed area if no storm sewer is available;
7. Impact of noise pollution or other environmental harm;
8. Potential negative impact on neighborhood property values;
9. Extent to which there is need for the proposed use in the community;
10. Economic impact upon the community;
11. Extent to which public facilities and services are available and adequate to satisfy the demand generated by the proposed use;

12. Comparison of the benefit gained to the public health, safety and welfare of the community if approved versus the hardship imposed upon the landowner if the requested application is denied;
13. Conformance to the Official Master Plan, current County policies and ordinances, analysis by professional staff; and,
14. Consistency with permitted uses in the area in which the conditional use is sought.

Modifications

In accordance with Section 400.1230E the Planning Commission may recommend, and the County Council may approve modifications on the development plan when the petitioner requests to modify one or more of the restrictions or regulations of the UDO. Modifications should be consistent with the criteria for development plans, in the best interest of the County, incorporate sound planning principles and design elements that are compatible with surrounding properties, be consistent throughout the proposed project, effectively utilize the land upon which the development is proposed, and further the goals and intent of the UDO.

The petitioner requested nine (9) modifications. Before reviewal, the petitioner did withdraw one modification relating to parking, which the petitioner determined did not to be modified. The modifications are as follows:

1. **Section 400.950 – Submission of Technical Studies/Section 400.2460 – Light Standards.**
The petitioner would like to utilize the existing lighting on the property. Staff would recommend approval with the condition of light packs on the building and adequate lighting in the rear of the building, where the proposed new parking spaces are to be located.
2. **Section 400.2560 – Street Standards – Minimum Pavement Standards.**
The petitioner has stated that the existing pavement thickness is unknown. As stated in departmental comments "The thickness appears to exceed UDO requirements, however there are potholes and broken areas of pavement which must be repaired. The petitioner shall repair Warren Road from Miller Road through the project limits as directed by the Planning Division."
3. **Section 400.2610 – Driveway Requirements – Width.**
The petitioner is requesting to use the existing driveways in place. The UDO requires a minimum drive aisle width of 16'. The petitioner must access the rear of the building to add the required number of parking spaces. The only available access to the rear of the building is to place drive aisles on each side of the building. The existing building and property lines limit the available lanes to about 11 feet. These will be one-way aisles with no parking along the aisle. This deviation should function as long as the petitioner prohibits parking in the drive aisles.
4. **Section 400.2620 – Driveway Requirements – Corner Clearance.**
The petitioner has stated that the required 125' offset cannot be met due to the existing configuration of the property and adjacent properties. Since the property has been established for some time, as well as the surrounding properties, staff does not see an issue with this request.
5. **Section 400.2630 – Driveway Requirements – Throat Length.**
The petitioner is requesting to allow the current configuration. Upon reviewal, Staff determined that the throat length does meet code, therefore, the petitioner does not need this modification.
6. **Section 400.4100 – Design and Improvement of Parking Lots.**

The existing building served as a daycare for a number of years. The parking has always backed into Warren Road. Staff is not aware of any problems caused by this configuration.

7. Section 400.4650 – Landscaping.

The petitioner is requesting to plant shrubs in planters and containers in the front of the building. Staff does not see any issue with this as the front of the building is completely paved. There is no available green space to plant any landscaping.

8. Section 400.5560 – Drainage and Storm Sewers.

The petitioner is requesting relief from stormwater management requirements but has stated that rain barrels can be installed on building downspouts. Staff would allow the implementation of rain barrels.

Analysis

The property is intended to be used as a transitional living facility, known as Finding Grace Ministries. Specifically, the existing vacant daycare is proposed to be retrofitted to accommodate youth and adults who are at risk or suffer from homelessness. As a transitional living facility, residents will be given a place to live while transitioning into jobs, etc. The intention of the facility is to transition those experiencing homelessness to independence and self-sufficiency. Finding Grace Ministries has proposed a total of eight (8) bedrooms to accommodate people in need of their services. The proposed living arrangements include shared restroom and kitchen facilities (these will have to comply with Building and Fire Codes).

Based on the documents provided to Staff along with the application, individuals will go through a background screening process, as well as a two-week probationary period. If an individual is accepted to live in the facility, reviewed by Finding Grace Ministries, the individual will be responsible for proactively searching for and obtaining jobs, as well as contributing to tasks around the facility. The business model for Finding Grace Ministries states they have a no-tolerance policy for infractions of policy and rules.

The surrounding properties and neighborhood consist of various zoning districts. To the north, there is a mix of single-family and multi-family residential structures. East of the subject property (across Warren Rd) is occupied by the Elks Lodge, which is separated by tall fencing. South of the property consists primarily of commercial operations, which include a gas station, storage, and other small commercial operations within a strip mall. Behind the rear of the property includes the storage facility previously mentioned.

The surrounding uses could aid in helping the proposed use of the subject property fit into the character of the area. While commercial uses exist near and adjacent to the property, there are single-family properties that border the property. In order to minimize any effect to said properties, Staff would like to see a six-foot privacy fence installed along the northern property line (where the residential structures adjoin the subject property). The privacy fence would operate as both a clear distinction between the different uses, as well as minimizing lights from cars parked in the rear of the building in order to exit the property.

While a commercial venture of sorts would not be new for surrounding properties, the use of a transitional living facility is very different from a children's daycare. Conditions outlined and set forth by Staff in this Staff Report must be met in order to satisfy requirements of the County.

Modification Recommendation

1. Staff recommends **Approval with Condition** of relief from Section 400.950 – Submission of Technical Studies/Section 400.2460 – Light Standards to allow relief from

- providing a technical study, with the condition that light packs are installed on the building and adequate lighting is added to the rear of the building.
2. Staff recommends **Approval with Condition** of relief from Section 400.2560 – Street Standards – Minimum Pavement Standards with the condition to patch potholes and broken areas on Warren Road from Miller Road through the project limits as directed by the Planning Division.
 3. Staff recommends **Approval with Conditions** of relief from Section 400.2610 – Driveway Requirements – Width with the following conditions:
 - a. The petitioner shall install “No Parking” signs on both sides of the building.
 - b. The petitioner shall install 25' of curbing from the building toward Warren Rd on both sides of the building (front) to separate the front parking from the drive aisles.
 4. Staff recommends **Approval** of relief from Section 400.2620 – Driveway Requirements – Corner Clearance.
 5. Staff recommends **Approval** of relief from Section 400.2630 – Driveway Requirements – Throat Length.
 6. Staff recommends **Approval** of relief from Section 400.4100 – Design and Improvement of Parking Lots.
 7. Staff recommends **Approval with Condition** of relief from Section 400.4650 – Landscaping with the condition that shrubs be planted in planters and/or containers in the front of the property.
 8. Staff recommends **Approval with Condition** of relief from Section 400.5560 – Drainage and Storm Sewers with the condition that rain barrels be placed on the buildings' downspouts.

Staff Recommendation

Based on the above analysis, staff recommends **Approval** of CU21057, a request for a Conditional Use Permit for a “Group home for persons with disabilities, hospice or special care” in a Non-Planned Community Commercial (CC2) zone district to allow for the operation of a transitional living facility, subject to the following conditions:

1. The number of occupants (not including employees) shall not exceed the specified number of occupants set forth by the Rock Community Fire Protection District regulations and the Jefferson County Building Code, not to exceed 20 occupants living within the facility at any given time.
 - a. There shall be no more than two (2) adults per room.
 - b. Children under five (5) years of age may reside with their parents and/or legal guardians in their respective bedroom.
2. At least one staff member must be present twenty-four (24) hours a day.
3. A six-foot sight-proof fence shall be installed along the northern property line. The fence must comply with fencing standards and materials set forth in the UDO.
4. Building plans must be submitted to the Jefferson County Code Enforcement Division, and plans must be approved before occupancy is given. All interior building renovations must comply with the Jefferson County Code Enforcement regulations.
5. Restrooms shall be provided in sufficient number and type to satisfy the Jefferson County Building Code.
6. All requirements of the Rock Community Fire Protection District shall be met.

7. Lighting must be installed in the rear of the building where the additional proposed parking is to be located.
 - a. Lighting shall be minimized where it could project into residential-neighboring properties.
8. All signage, including off premise signage, shall comply with Article XIII of the UDO.
9. The scope of pavement work provided by the petitioner must be met and completed.
10. Site Development is required. A Jefferson County occupancy permit must be issued by the Code Enforcement Division and shall not be issued until all required site improvements have been installed.
11. All required state permits must be filed with the Planning Division prior to occupancy of the facility.
12. All requirements of state permits shall be followed.
13. The conditional use permit is issued to this Applicant. At such time as a different organization seeks to occupy the property, a new conditional use permit must be issued by the Jefferson County, Missouri, Council.

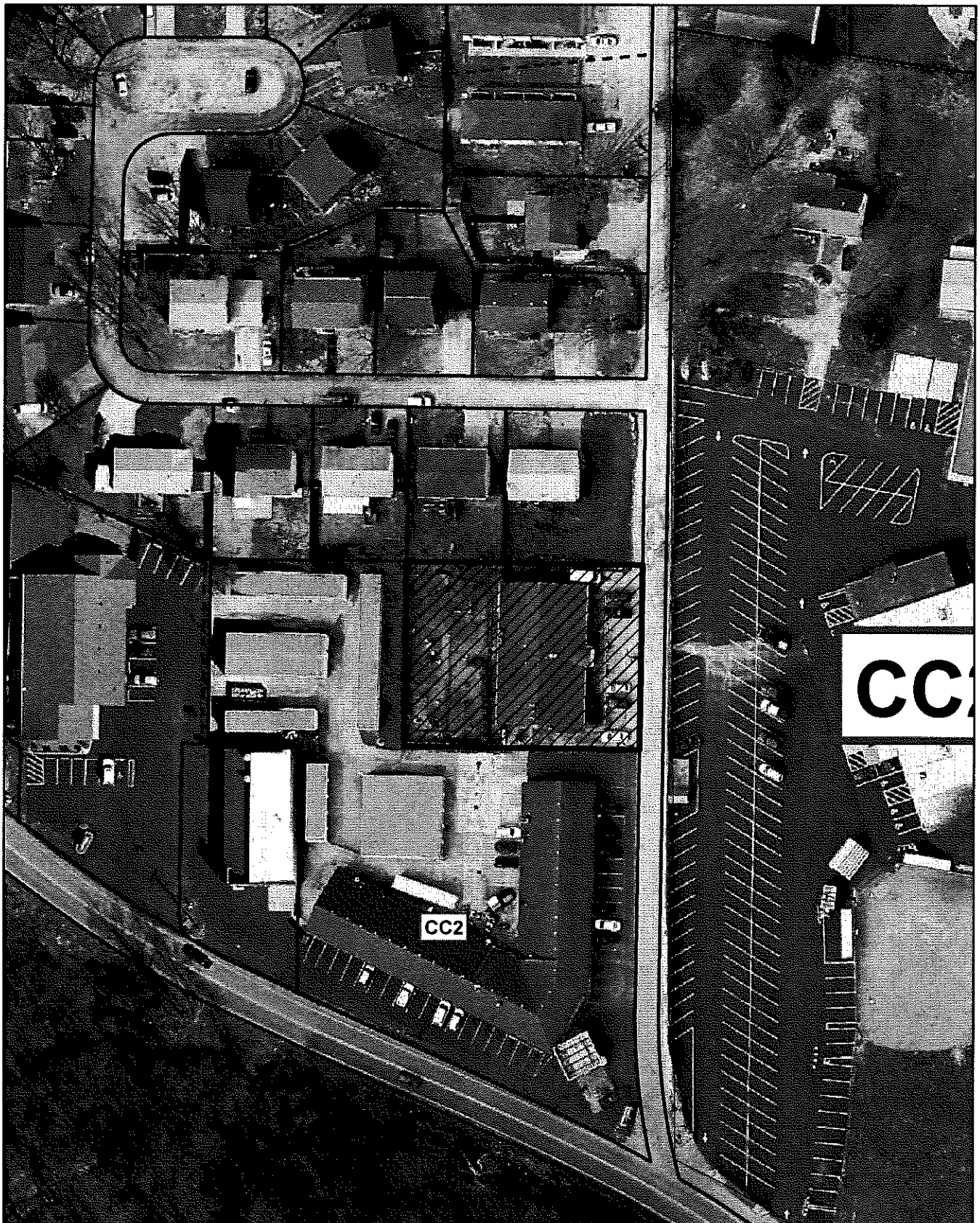
Departmental Comments

The above noted plans were received by this department on June 24, 2021. They have been reviewed relative to street standards, drainage and grading in accordance with the UDO. Staff has the following comments:

- 1) Access Road (Warren Road from Miller County Road to East end of the site):
 - i) Warren Road appears to meet UDO requirements for width. The road is used by a subdivision and several multifamily units beyond this project.
 - ii) The thickness appears to exceed UDO requirements, however there are potholes and broken areas of pavement which must be repaired. The petitioner shall repair Warren Road from Miller Road through the project limits as directed by the Planning Division.
- 2) 125' corner clearance is not met, a deviation is required.
- 3) Driveway throat lengths meet UDO requirements.
- 4) Parking areas and drives (within the site):
- 5) Pavement thickness:
 - i) ***The additional parking spaces at the rear of the building and the connecting drive aisles must be paved and striped.***
 - ii) Provide typical detail for parking area/driveway/aisle (beyond the entrance pavement).
 - iii) Parking areas with 5 or more required parking spaces must provide a paved surface of 3" Type C Asphaltic Concrete over an 8" rock base (or 2" Type C Asphaltic Concrete/4" Type X Asphaltic Concrete; or 6" PCC).
 - iv) Thickness of the existing parking pavement is unknown, a deviation is required.
- 6) Drive aisles shall be 16' wide for one-way traffic. Condition not met, a deviation is required.

- 7) Parking lot spaces shall not be placed in such a manner where vehicles will back into a street. Condition not met, a deviation is required.

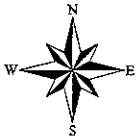
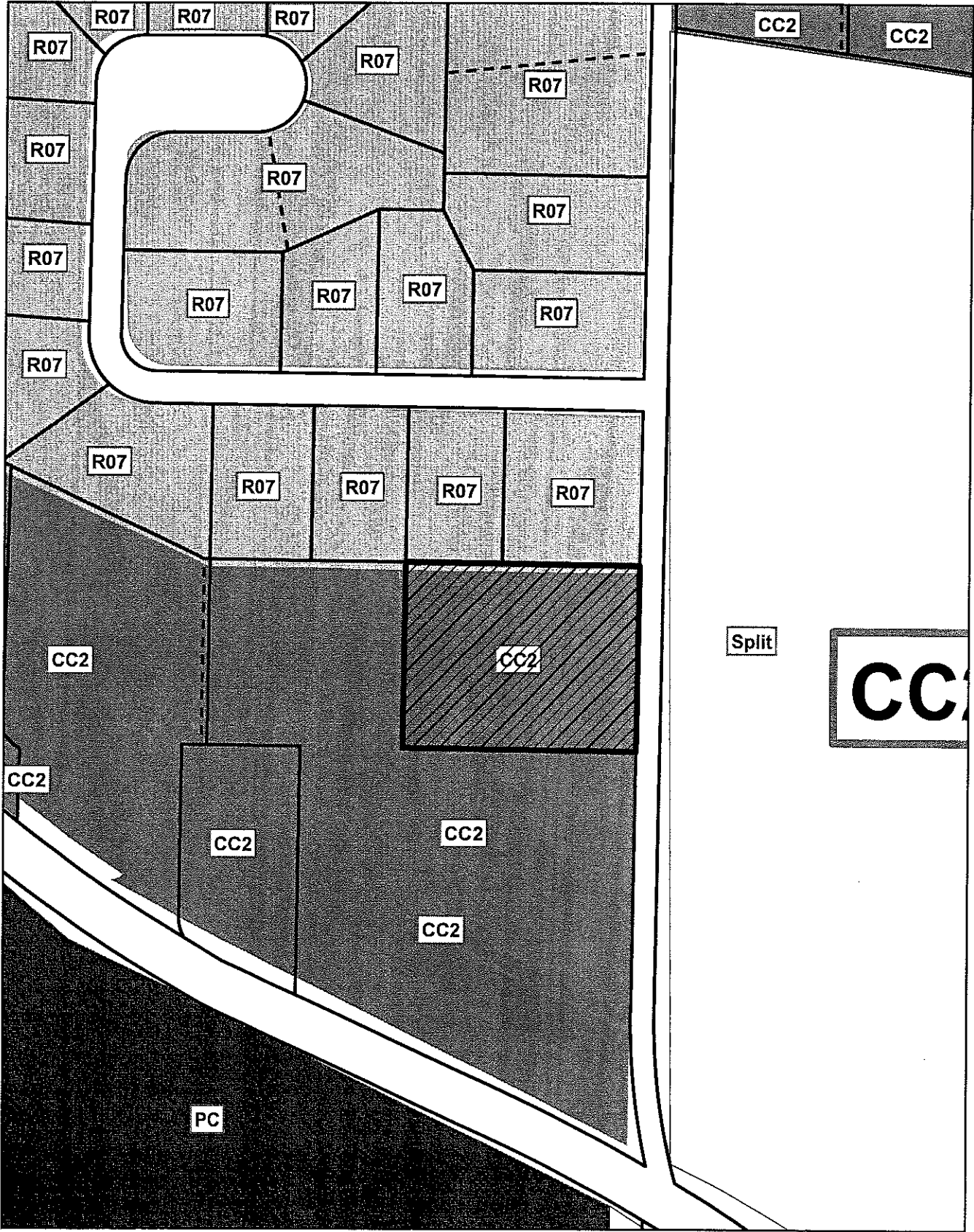
CU21057 - Finding Grace Ministries



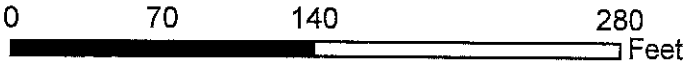
Subject Property

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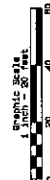
CU21057 - Finding Grace Ministries



Subject Property



A topographic map of the area around Mt. St. Helens. The map shows the Mt. St. Helens National Volcanic Monument, the city of Buhl, and the town of Challis. The map includes contour lines, roads, and a scale bar. The map is oriented with North at the top. The Mt. St. Helens National Volcanic Monument is located in the upper right. The city of Buhl is located in the center. The town of Challis is located in the lower left. The map shows the Snake River and the Snake River Canyon. The map also shows the town of Challis and the town of Buhl. The map includes a scale bar and a north arrow.

[illegible]

AMBULANCE
Rock Township
CABLE TELEVISION
ELECTRIC
American
GAS
FIRE
Rock Community
REPAIRS
WILSON
MAYOR
Rock Creek Public Sewer District
TELEPHONE
ATV
MAYOR
Public Water Supply District 21



Actual

FLOOD STATEMENT
No portion of this site is located in the 1A Arroyo
Charles Flood Hazard Area according to the
Flood Insurance Rate Map-Community-Peak
150, 2000010100 Effective Date: June 20, 2010

Front: 29 feet
Side: 9 feet
Back: 10 feet

ZIP CODE: 14005
PAR (ACR) AREA (sq. ft.): 4,400 sq.
Bearing (bearing) 171°
Date: 16, 2008

[illegible]

PARKING
PRODUCED
15 PARKING SPACES
PRODUCED
15 STANDARD SPACES
1 HC SPACE

DEVIL CITY
PINE CRACK MINISTRIES
3921 JEFFCO BLVD
ARNOOLD, MO 63032
314-681-6188

SURVIVOR - ENGINEER

Gleason Land Services, Inc. 2422D
5929 Old State Road
Inverness, MO 63057

SURVEYOR - David L. Cowan LB-1778
ENGINEER - Chad J. Quinn, PB 200-02-2014

COVER SHEET

TEST NO. 89062-B
SHEET NO. 1 OF 1

Redevelopment Plan
Finding Grace Ministries
5181 Warren Road
Imperial, MO 63052

GOVERNORS
LAND SERVICES
SURVEYING • ENGINEERING
2000 OLD STATE RD.
MURFREESBORO, TN 37132

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PRINTED BY	ADMIN
PRINTED AT	BLDG
PRINTED BY	ADMIN
PRINTED AT	BLDG

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89062-B
1 OF 1

GOVERO

Land Services

SURVEYING * ENGINEERING
5929 Old State Road
Imperial, MO 63052
(636) 464-9380

DATE: July 1, 2021

TO: Jefferson County Planning

RE: Finding Grace Ministries
5181 Warren Road
GLS Job No. 89062B

FROM: Govero Land Services

Finding Grace Ministries is seeking to redevelop the existing building at 5181 Warren Road in Imperial to assist with the mission of preventing abuse, neglect, and sexual exploitation of youth and adults that are at risk or suffer from homelessness. The previous use of the site was a daycare center with parking space configuration accessible from Warren Road and a playground in the rear of the building. With renovating the existing building, eight (8) bedrooms will become available to assist with housing for youth and adults with a future and hope. In addition, the building will be staffed with four (4) employees to support the residents.

The following deviations are requested to support the project:

Section 400.950 Submission of Technical Studies/Section 400.2460 Light Standards
Request waiver for the photometric lighting plan. The site will utilize the existing lights along Warren Road.

Section 400.2560 Street Standards – Minimum Pavement Standards
Request to utilize the existing pavement (drive aisles and parking spaces) in place. The existing pavement thickness is unknown.

Section 400.2610 Driveway Requirements – Width
Request to use the existing driveways in place.

Section 400.2620 Driveway Requirements-Corner Clearance
Relief from the desired 125 foot corner/clearance offsets with adjacent driveways is requested due to the existing condition of the site and adjacent developments.

Section 400.2630 Driveway Requirements – Throat Length
Request to allow the existing configurations.

Section 400.4040 Parking Plan

Request reduction in the number of parking spaces on site. A total of six standard and one handicap space is requested. The proposed reduction in parking spaces will provide the parking for each of the four employees. Three parking spaces will be available for residents. If additional parking is needed, parking and transportation will be per the parking agreement between with New Hope United Methodist Church and Finding Grace Ministries. A reduction in the number of parking spaces will allow for additional play area for the youth at the facility.

Section 400.4100 Design and Improvement of Parking Lots.

Request to allow parking lot access and circulation along Warren Road to remain in current configuration. Request waiver of curbs.

Section 400.4650 Landscaping

Request relief from the planting requirements along the street and open yard. Request six (6) shrubs to be placed in planters and containers along the front of the building.

Section 400.5560 Drainage and Storm Sewers for the proposed improvements.

Request relief from stormwater management requirements for the site. Rain barrels can be installed on the building downspouts to collect stormwater runoff.